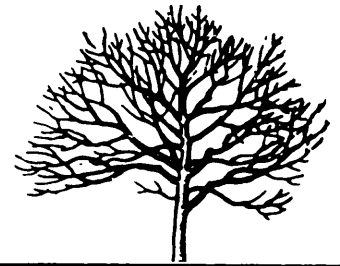


LAKESHORE HOMES NEWS



907 UNDERHILLS ROAD

OAKLAND, CALIFORNIA 94610

451-7160

APRIL 1978

LETTER FROM THE PRESIDENT

Dear Neighbors,

The new year begins, not surprisingly, where the old year left off. Unfortunately, we are a little late in getting the first Newsletter out due to some delays we experienced because of illness and because of some mechanical problems in getting our 1978 Budget prepared in time for publication in this issue. I think you will find it self-explanatory and encourage any of you who have questions, to contact either Dana Pignolet or myself; better yet we would like to see more and more people attend our monthly meetings and bring up issues of concern to all of us.

Before launching on to the new year's activities, I would like to make a few comments about how the last year ended and the Annual Meeting. At the Annual Meeting we elected a new slate of Directors and Governors and regretfully accepted the resignation of three Directors who had been extremely active in the past years in Association business. **Andy Anderson** has been a board member for more years than most of us can remember and has always been faithful and diligent in trying to further Association interests. Both as a Board Member and as our Treasurer he has devoted many hours toward keeping our Association running smoothly. His delightful wife, Harriet, was responsible for making many of our meetings more enjoyable as a result of homebaked cookies which she sent with Andy. His resignation from the Board makes room for new members to take part, but leaves a vacancy in terms of personality and input. Andy promises to continue to keep his oar in the waters of Association activities and we hope his time and energy will allow him to do so.

Also resigning were **Larry Danielson** and **Michael Wilmar**. Larry has spent many years, not only attending meetings and giving his input there, but also giving of his physical labor and architectural skill in designing, and actual constructing a number of the improvements on Association properties. This last year, his years of effort to reduce the taxes on property owned by the Association finally resulted in a complete "win" for us and a savings of hundreds of dollars. Larry's efforts have benefited all of us and we are hopeful he will continue to give us the benefit of his assistance.

Mike Wilmar has been Vice-President, past President and peripatetic gadfly for Association benefit, for a number of years. His time commitments too, have led to his resignation from the Board and from his Officer status. He has promised us that he will continue to work on his pet projects concerning traffic, better utilization of Association property, and maintenance and preservation of the residential character and spirit of our community.

To Andy, Larry and Mike the entire Association owes a great debt of gratitude and on behalf of all the past and present Board members we want to extend them our deepest appreciation and hopes for continued assistance from them.

At the Annual Meeting new members of the Board were inducted. All the current Directors have been active as Directors or Governors in the past and some of the new faces on the Board of Governors are the probable future Directors. As I think all of you probably know, the time and energy spent

CONTINUED TO BACK PAGE

SEARCH & SERVE

The State Department of Education, through every local school district, is seeking to identify, locate and screen all individuals in the state from birth through 21 years of age, who are in need of special educational services.

The Oakland Public Schools Dept. of Programs for Exceptional Children is asking all parents, organizations and community members to discuss the aims of Search & Serve with others so that all will be aware that such a program is in progress. All information will be kept confidential and the privacy of children, parents and guardians will be fully protected.

If you know of someone, or have someone in your home from birth through 21 years of age, who may have a physical, mental, emotional or language problem, please contact Mary Brantly, Consultant Search & Serve, Oakland Unified School District, phone 836-2622, Ext. 693.

BOARD OF DIRECTORS AND GOVERNORS:

Directors:

Mike Kalkstein, President
Judith Rochios, Vice President
Jim Faison, Treasurer
Lynn Luthi, Secretary
F. W. Washington

Governors:

A. P. Anderson
Lorne Bradley
Lola Butkus
Mike Coan
Alma Dean
Vivian de Glymes
Pete Holland
Judith Kahn
David Newell
Eva Paul
* new officers

COMMITTEE ASSIGNMENTS

Budget/Finance:

Mike Kalkstein
Jim Faison
Jeff Fearn

Maintenance:

F. W. Washington
Mike Coan
Dave Newell
Lynn Luthi
Jim Faison
Julian Ajello

Restrictions:

Mike Kalkstein
F. W. Washington
Judith Rochios
Jim Faison

Newsletter:

Judith Kahn
Judith Rochios
Vivian de Glymes
Lynn Luthi
Jim Faison

MONTHLY MEETINGS:

The Board of Directors and Governors meet regularly the second Wednesday of each month at 7:30 p.m., at the Association office at 907 Underhills Rd. If you want any information about an upcoming meeting, or would like to be placed on the agenda, just call the office during the week before the meeting. The office number is 451-7160.

1922 Model Home at 1263 Trestle Glen

Our home at 1263 Trestle Glen is pleasantly oriented to its garden and has a solarium opening to the garden from the living and dining rooms. The house is grouped with three others that are similarly Mediterranean in styling. As a new owner, these features made me curious to find out if the four houses were architect designed and by whom.

We learned from a former resident of our house, who still lives on Trestle Glen, that the house had been furnished and exhibited sometime before she lived there as a child in the 1930's. Knowing the house was built in 1922, I began browsing through West Coast architectural and building magazines of the 1920's in the U.C. Environmental Design Library. Articles and pictures of 1920's East Bay buildings appear frequently in these magazines.

I was excited to find in a 1923 *Building Review* issue an article with picture and scale drawings of a "Spanish colonial bungalow electrified", the house directly across the street from ours. Designed by Reed and Corlett, who also designed other houses in Lakeshore Highlands, the exterior was described as recalling the old Spanish days, but inside the house was "equipped with every sort of electrical appliance to lighten the toil of housework." This first discovery spurred me on.

At the Oakland Library's California Room in an issue of the 1922 *Home Designer* magazine, I found what I was looking for: a picture of our house under construction and a one page article with a rendering describing it as a "Sloane house", one of a score of more of exhibition houses in the California Complete Homes Exhibit of October 1922.

The Oakland Realty Board promotion featured for the first time real houses that were landscaped, furnished, and open to the public; previous to this home shows were held in auditoriums. The exhibition, "in Lakeshore Highlands, one of America's most charming residence Parks", was part of a nationwide "Own Your Own Home" campaign and featured the furnished homes with hostesses, lectures on home care and such, and a water company pavillion promoting the new Sierra Nevada water source development.

In a 1922 Tribune edition there is a picture of our house with people lined up at the entrance waiting to see the Sloane's furniture and the latest advances in home building, hopefully inspiring in them the desire to become home owners, now that the Realty Board has shown them it was financially possible.

Our search is not ended. Somewhere there must be pictures of the interiors of the exhibition "palaces" (as they were called in our Tribune article). It's fun delving into Oakland's development, particularly when we live in "one of America's most charming residence parks." — *Jim and Maggy Cara*

Crocker House Tour April 15th 11:00 a.m.—3:00 p.m.

The Crocker Highlands P.T.A. is sponsoring a neighborhood home tour, to which you are invited. Many of us find the architectural interest and styling of the homes a continual delight. Now we have the opportunity to see several of the neighborhood homes inside, as well. Five homes will be highlighted on the tour this year.

Parking will be available at Crocker Highlands School. Mini-bus service will be available between the homes on the tour so that you need not walk. We welcome your participation in our Crocker Home Tour. Please call Georginia Jones (893-6932) or Judy Rochios (832-6547) to obtain tickets. Donation: \$3.50.

How to Plant a Lawn

Thanks to this winter's rain many of our lawns are again enjoying good health. However, if your grass lost its battle with the drought you may be faced with starting a new lawn from scratch. Judy Donaghey, instructor of horticulture at Merritt College, tells how to plant a lawn.

1. **FINISH GRADE** — This is usually done by the builders of tract homes. Otherwise add topsoil as needed. Level and grade with special attention to water drainage. Be sure water does not drain towards house or drain in such a way to cause erosion problems.

2. **SOIL AMENDMENTS** — Most soils in this area need an addition of humus to help hold water, to loosen soil, and to make a better growing medium. (This is especially important for a dichondra lawn.) Recommended amount for each 500 square feet of lawn is one bale peat-moss plus three sacks nitrohumus, or other equivalent soil amendments. Spread over the area before rototilling.

3. **ROTOTILL** — Should be done to the depth of at least four inches and until the added soil amendments are all thoroughly mixed and the ground is well pulverized.

4. **RAKE** — The ground smooth, releveled, and correct minor grade faults caused by rototilling.

5. **ROLL** — So that the ground is firm enough to walk on.

6. **RAKE AGAIN** — To correct the unevenness of the ground after rolling. Roughen the ground for a seed bed by raking lightly over the whole area and leave the rake marks.

7. **SEED** — Use mixture recommended for your district, for how it is to be used and the amount of care the lawn will get. The amount of seed per square feet will depend on the mixture, but a good guide is at the rate of one pound to 200 square feet. Broadcast by hand or use a seed spreader to plant over the roughened ground. **Do not rake the planted seeds.** Leave it exposed, or cover it by dragging a soft broom over the ground.

8. **MULCH** — Cover the exposed seeds lightly with a mulch of peatmoss or nitrohumus. Recommended for 1000 square feet of lawn is one bale of peatmoss or 4 sacks of nitrohumus.

9. **WATER** — As needed to keep the surface of ground damp at all times until most of the seeds have germinated or about three weeks. After three weeks, water once a day until first cutting, when the grass is about three or four inches tall. Use a fine mist.

10. **FERTILIZING** — Give a liquid fertilizer at first cutting. Repeat monthly for two more times. When lawn is six months old fertilize with a dry organic fertilizer. Repeat every four months for a continued lush green lawn. Do not use chemical fertilizer on lawn that is less than a year old unless it is in liquid form.

11. **WEEDING** — Weed by hand until 2" high. Put 1" x 12" boards across areas to be weeded. Use these as your walk-way.

If you would like to employ a horticulture student from Merritt College to assist you in planting your lawn, call: Merritt College, Ornamental Horticulture Office, 531-4911 Ext. 272. Ask for Judy Donaghey or Barry Friesan.

An excellent source of free information regarding lawns is available from the University of California Cooperative Extension. Write the Cooperative Extension office at 224 W. Winton, Hayward, Ca. or call 357-0844, ext. 6348, and request that printed information be sent to you. Some of the titles available are: 1) Lawn Aeration and Thatch Control; 2) Ornamental and Turfgrass Pest Control; 3) Know Your Turfgrasses; 4) Planting a Home Lawn with Seed or Sod.

The Cooperative Extension has information available at no charge in the following categories: Horticulture, Home Economics; Entomology and Animal Husbandry.

Continued next page

ADMINISTRATOR'S REPORT

The year-end financial statements for 1977 have been prepared on a fund accounting basis. This has been done to show more clearly where the assessment dollar is spent. The basic assessment, shown opposite the 30¢ rate on your assessment bill, is provided for in our Declaration of Restrictions; and receipts are used as part of our General Fund. The General fund is used to administer the Association and to fund routine maintenance of Association property. Interest income from all funds has been accounted for in the General Fund. Approximately \$20,000 remaining from land sales associated with the removal of the Key System "B" train in the late 1950's and early 1960's, accounts for nearly all the cash balance in the General Fund. These monies have been used in the past to offset losses in years when expenses exceeded revenues.

The Association Park Development charge on your assessment bill, which has been in the amount of five dollars for the past several years, is deposited into the Association Park Improvement Fund. This money is used for capital improvements and replacement of worn or obsolete equipment associated with our properties or the maintenance of these properties. The balance in our Park Improvement Fund largely represents monies collected in the previous two years which were not spent. In 1976, due to a major reorganization of the Association administration, and the hiring of a new administrator, Park Improvement Plans for planting trees and shrubs on Plots "B" and "C" were deferred. In 1977 these same plans and additional plans to replace the worn sprinkler systems on several of our properties were deferred due to the drought condition. These reserves will be used to supplement current and future years Park Development receipts, allowing for more significant improvements to be made over the next couple of years.

Our weekly collection of garden clippings is operated out of our Disposal and Cartage Fund. The \$13.00 charge on your yearly assessment bill, itemized as Disposal and Cartage, goes into this fund and provides for the labor, truck expense, and dump fees associated with this service. The reserves in this fund will provide for the eventual replacement of our truck. Five years ago the Board of Directors made a decision to set aside \$2,000 per year into a truck replacement fund. When Disposal and Cartage receipts do not exceed expenses by this amount, the difference is transferred from the General Fund.

A voluntary Legal Assessment, in the amount of \$6.00, was included in our 1977 billing as a result of sentiment expressed at the annual meeting held in December of 1976. This money has been deposited into a Legal Fund, providing for the legal expenses relating to the enforcement of our present Declaration of Restrictions and for the expenses being incurred in the drafting and dissemination of a revision of these restrictions. Most of this money was not spent last year; however, it has been committed for services to be rendered this year in connection with the legal activities which were initiated in 1977.

The cash assets of the several funds discussed in this report are invested among various time deposits and regular savings accounts in local financial institutions.

Dana Pignolet — Administrator

Recommended seed mix for the Oakland area.

1. — 50% Kentucky Bluegrass 25% Creeping Red Fescue; 25% Astoria or Highland Bentgrass — get the cheapest.
2. — 30% Kentucky Bluegrass; 30% Meadow Fescue; 20% Creeping Red Fescue; 20% Astoria or Highland Bentgrass

Rapid growing turfmix

1. — 60% Meadow Fescue; 40% Red Top.
2. — 50% Perennial Ryegrass; 25% Red Top; 25% Meadow Fescue.

Turf to Receive Heavy Use

1. — 60-80% Tall Fescue (Goar); 20-40% Meadow fescue

For areas of Heavy - shade

1. — 60% Creeping Red fescue; 15% poa "Trivialis" 15% Astoria or Highland bent grass; 10% Red Top

BALANCE SHEET YEAR ENDING DECEMBER 31, 1977

	Unrestricted General Fund	Park Improvement Fund	Restricted Disposal Cartage Fund	Legal Fund	Total All Funds
Assets					
Cash					
Checking	1457				1457
Savings	20543	11016	10000	3305	44864
Petty Cash	50				50
Property (note 3)					
	<u>22050</u>	<u>11016</u>	<u>10000</u>	<u>3305</u>	<u>46371</u>
Liabilities and Net Worth					
Accrued Payroll					
Taxes Payable	441				441
Fund Balances	<u>21168</u>	<u>11016</u>	<u>10000</u>	<u>3305</u>	<u>45489</u>
(note 4)	<u>21609</u>	<u>11016</u>	<u>10000</u>	<u>3305</u>	<u>45930</u>

The accompanying notes are an integral part of this financial statement

STATEMENT OF REVENUE AND EXPENSES AND CHANGES IN FUND BALANCES FOR THE YEAR ENDED DECEMBER 31, 1977

	Unrestricted General Fund	Park Improve. Fund	Restricted Disposal Cartage Fund	Legal Fund	Total	1978 Budget
Revenue						
Current Year's Assmnt (note 1)	15,025	4,707	12,604	4,036	36,372	34,000
Prior Year's Assmnts	2,081				2,081	1,100
Interest Income	3,333				3,333	2,900
Total Revenue	<u>20,439</u>	<u>4,707</u>	<u>12,604</u>	<u>4,036</u>	<u>41,786</u>	<u>37,000</u>
Expenses						
Salary, Wages and Other Compensation	11,922	28	5,760		17,710	21,660
Payroll Taxes	1,077		619		1,696	2,100
Insurance	450		844		1,274	1,400
Utilities/Telephone/Gas and Oil	561		806		1,367	1,540
Stationery and Other Printing	523			231	754	1,500
Newsletter (Printing and Distribution)	1,129				1,129	1,000
Consumable Supplies and Materials	767				767	1,850
Tools and Equipment	342				342	500
Outside Services	307	400	149	500	1,356	4,306
Disposal Fees			2,408		2,408	1,250
Truck Maintenance			847		847	950
Taxes, Licenses, and Other Fees (note 2)	20		104		124	150
Other	129				129	260
Total Expenses	<u>17,227</u>	<u>428</u>	<u>11,537</u>	<u>731</u>	<u>29,923</u>	<u>38,466</u>
Revenue in Excess (def) of Expenses	3,212	4,279	1,067	3,305	11,863	-1,466
Full Balances, Beginning of the Year	19,330	6,737	8,000	-0-	34,067	45,930
Interfund Transfers	<u>-933</u>		<u>933</u>			
Fund Balances, End of the Year	<u>21,609</u>	<u>11,016</u>	<u>10,000</u>	<u>3,305</u>	<u>45,930</u>	<u>44,464</u>

NOTES ON FINANCIAL STATEMENTS DECEMBER 31, 1977 (Unaudited)

1) Accounting Policies:

Standards of Accounting and Financial Reporting: Adjustments have been made to the books of record in order to present the financial statements on an accrual basis. All revenues and expenses relate to the period covered by these financial statements.

Revenues: Revenues consist primarily of assessments on members of the Lakeshore Homes Association. A portion of the assessment is legally binding and is a condition of the original property deeds. The other portions of the assessment are restricted to specific services: park improvement and disposal and cartage service. In addition, in 1977 the Board of Directors of the Association established a voluntary legal fund to enforce the restrictive covenants of the Association. Revenues are recognized on a cash basis as they are received.

Office Furniture and Equipment: Office furniture and equipment acquired in prior years is fully depreciated and therefore is not reflected in the financial statements.

2) Tax Status: The Association is a nonprofit homeowner's association under the U.S. Internal Revenue Code. An I.R.S. determination letter is on file at the Association office.

3) Property: The Association owns several parcels of unimproved real estate in the Lakeshore Homes Associate area. These parcels are deed restricted and can not be sold by the Association, and as a result these parcels are not reflected on the balance sheet. In addition, the Association owns the lot at 907 Underhills. This lot is not deed restricted as to future sale and is not reflected on the balance sheet as it is the current site of the Association office.

4) Restricted Funds: The Association generates restricted funds in that the assessments consist of a general portion that is limited by deed restrictions and of portions restricted to particular activities, i.e. park development, disposal and cartage service, and legal activities. The fund balance of the Disposal and Cartage fund is restricted in that it will be used to replace the collection truck. The legal fund balance is restricted to deed restriction enforcement and expense related to the drafting of a revised Declaration of Restrictions.

Decorator Showcase

The Benefit Guild of the East Bay will present a "Decorator Showcase" at the Charles Lee Tilden Mansion, in Alameda, from April 1 thru 16th. Having undergone extensive renovation and relandscaping for the past year, the house will be decorated by some of the Bay Area's top interior designers.

Among some of the Lakeshore Homeowners members working on the Showcase are, Karen Murphy in charge of landscaping work and Claudia Skapik, co-chairman of the project.

For further information or tickets contact Claudia Skapik 465-0150 or Ann Ingemanson 254-6629. Tickets are \$3.50 (\$2.50 to senior citizens). Tickets will be available at the door and at all Fidelity Savings branches.

HANDYMEN AVAILABLE

Charlie Williams and Stephen Powell are dependable part-time workers who assist Dana Pignolet on the weekly LHA pick-ups.

If you need to hire some help for household and/or garden chores, call the office (451-7160), and request some time with Charlie and Stephen.

President's Letter Cont.

by all members of both boards goes unrewarded except in terms of the personal gratification those members receive, and with time it is in the best interest both of the Association and the individual Board Members that new faces replace the old. Consequently, we are continually encouraging new people to become active in actually running the Association's work.

Many other things were handled at the Annual Meeting and a good deal of the time was spent discussing and critiquing the revision of the restrictions. There were many criticisms raised at the meeting about some of the issues, and some of those criticisms have already led to changes in the revisions which will be submitted to you for vote in the near future. For instance, under the aegis of Jack and Beth Russell a petition was brought to the attention of the Board regarding the possible sale of the "plum patch." As a result of the sentiment expressed at the Annual Meeting that section of the proposed revisions was deleted.

We also pointed out at the Board Meeting that last year had resulted in our **not** expending as much money as we had anticipated, primarily due to savings which were affected on account of the different method of disposing of the clippings and also on account of money which we did not spend on park improvements (because of the drought) and money we did not have to spend on legal actions in 1977. We are expecting to spend a good deal of the park improvement and legal money that was left over from last year in the current year together with our regular maintenance programs now that the drought is over. Consequently, our dues have gone out in the same amount as last year even though we have increased some of our expenses (including the salary of the Administrator and the wages paid to our laborers). We are not requesting any additional monies for legal fees this year since we feel the money left over from last year will amply cover what expenses we anticipate in the coming year.

Our maintenance committee is planning to be very active this year, planting and otherwise improving our common areas. We expect to be having work parties to plant trees in Plot B and for some clean-up activities in the area and hope that other members will join us in those efforts. For those of you who are interested, please contact Fran Washington at his home or through the Association office.

We look forward to the new year being an active and fulfilling one for all of us and one which will see continuing increases in members' participation in Association activities.

Very truly yours,

MICHAEL H. KALKSTEIN
President

GARDENING, ANYONE?

Rosemary Menniger is Governor Brown's Community Gardening Coordinator. Her job is to see if she can triple the 100 or so community gardens around urban California.

If any of you are interested in our seeking help to organize a co-op garden (perhaps in the Association's "backyard" on Underhills), please call the office.

NOTARY SERVICES AVAILABLE AT NO COST TO MEMBERS

The Association's Administrator, Dana Pignolet, has a Notary Public Commission. His services are available, free of charge to members of the Association, for the notarization of personal documents.